

LEGEND

- (V) (T) (PT) (ET) (C)** PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA ALLOTMENT
- BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- ROAD CONTROL LINE
- UPRIGHT KERB AND GUTTER
- SWD** STORMWATER DRAINAGE
- E** ELECTRICAL RETICULATION
- S** SEWERAGE RETICULATION
- W** WATER RETICULATION
- NBN** NATIONAL BROADBAND NETWORK ALIGNMENT
- SWD** STORMWATER DRAINAGE
- E** ELECTRICAL RETICULATION
- ←** STREET LIGHT
- S** SEWERAGE RETICULATION
- W** WATER RETICULATION
- IR** IRRIGATION MAIN
- CONCRETE FOOTPATH
- CONCRETE FOOTPATH DELIVERED AS PART OF LANDSCAPE PLANS, REFER LANDSCAPE PACKAGE FOR DETAILING.
- BUILDING AREAS FOR PORCHES, VERANDAHS, DECKS AND BALCONIES
- POSSIBLE BUILDING OVER ACCESS TO GARAGE OR CARPORT
- POTENTIAL STREET TREE LOCATION
- 4.5** MINIMUM VEHICLE CROSSOVER FOR SD RESIDENTIAL ALLOTMENTS AS PER COP STANDARD DRAWING 3598-001 FOR UPRIGHT KERB AND GUTTER
- 5** MINIMUM VEHICLE CROSSOVER FOR SD RESIDENTIAL ALLOTMENTS AS PER COP STANDARD DRAWING 3598-001 FOR LAYBACK KERB

DRIVEWAY ACCESS LOCATIONS

ALLOWABLE DRIVEWAY ACCESS LOCATIONS ARE SHOWN INDICATIVELY AND ACTUAL LOCATIONS SHALL BE CLEAR OF ALL APPURTENANCES VIZ. PILLAR BOX, SERVICE PITS, LOT WATER OFF TAKES AND SUBSOIL FLUSH POINTS.

BUILDING SETBACKS

HOMES MUST BE BUILT IN ACCORDANCE WITH SETBACKS DETAILED ON THIS PLAN AS WELL AS COMPLY WITH THE ZUCCOLI HOUSING DESIGN GUIDELINES.

PRIMARY STREET

GENERAL SETBACK REQUIREMENTS

TERRACES AND VILLAS - 3m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
COURTYARDS & TRADITIONAL - 6m TO MAIN BUILDING LINE, 7m TO GARAGE OR CARPORT RESPECTIVELY.
PORCHES, VERANDAHS, DECKS AND BALCONIES MAY ENCROACH TO A SETBACK OF 4.5m FROM THE FRONT BOUNDARY ON COURTYARD OR TRADITIONAL LOTS.

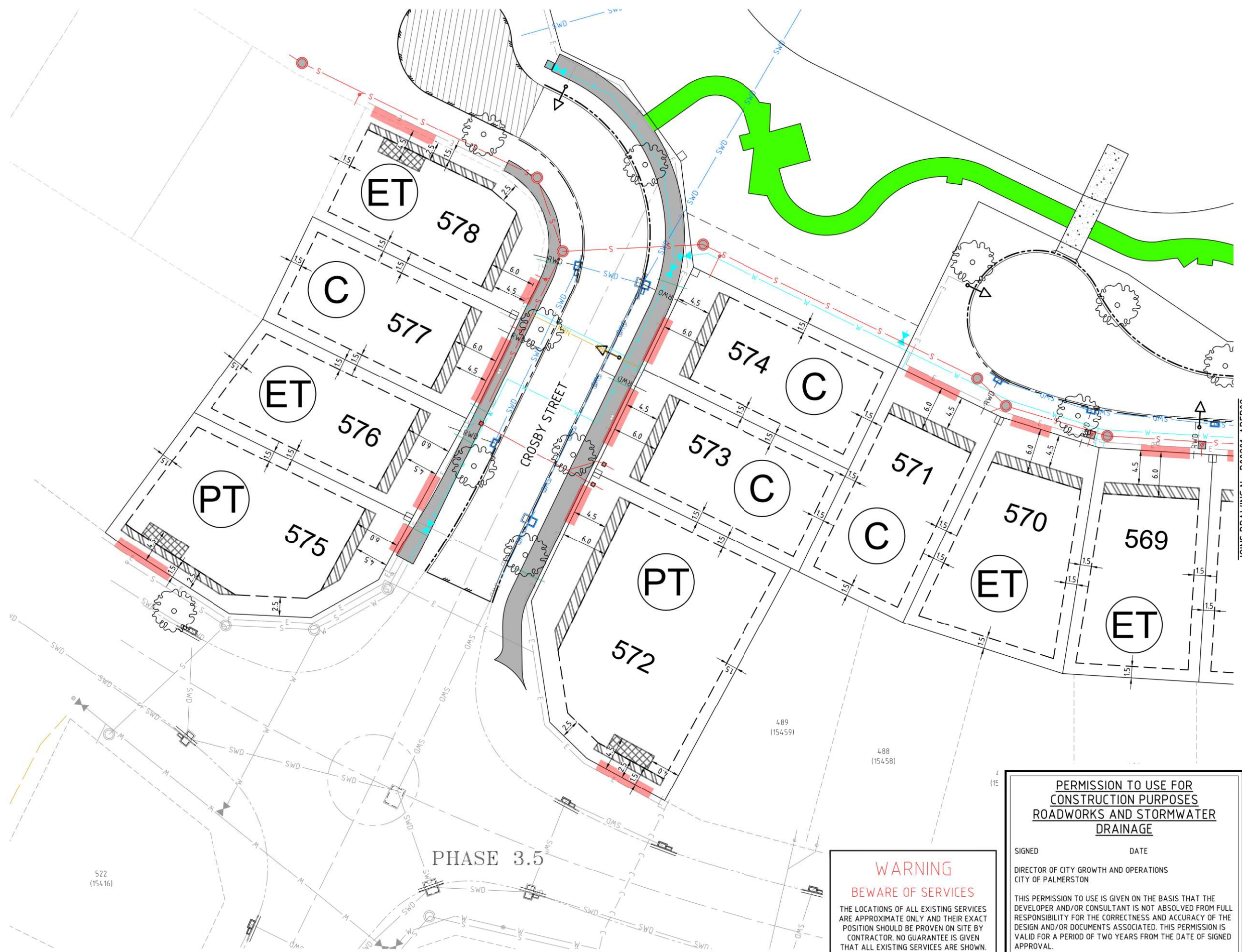
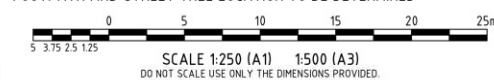
SECONDARY STREET

GENERAL SETBACK REQUIREMENTS

VILLAS - 1.5m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
COURTYARDS & TRADITIONAL - 2.5m TO MAIN BUILDING LINE, 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
PORCHES, VERANDAHS, DECKS AND BALCONIES MAY ENCROACH TO A SETBACK OF 1.5m FROM SECONDARY STREET FRONTAGE ON COURT YARD AND TRADITIONAL LOTS.

NOTE

FOOTPATH AND STREET TREE LOCATION TO BE DETERMINED



PERMISSION TO USE FOR CONSTRUCTION PURPOSES ROADWORKS AND STORMWATER DRAINAGE

SIGNED _____ DATE _____
DIRECTOR OF CITY GROWTH AND OPERATIONS
CITY OF PALMERSTON

THIS PERMISSION TO USE IS GIVEN ON THE BASIS THAT THE DEVELOPER AND/OR CONSULTANT IS NOT ABSOLVED FROM FULL RESPONSIBILITY FOR THE CORRECTNESS AND ACCURACY OF THE DESIGN AND/OR DOCUMENTS ASSOCIATED. THIS PERMISSION IS VALID FOR A PERIOD OF TWO YEARS FROM THE DATE OF SIGNED APPROVAL.

WARNING BEWARE OF SERVICES

THE LOCATIONS OF ALL EXISTING SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE BY CONTRACTOR. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

Matthew Bogg
Registered Engineer
17/8/2021 896150

Date Register

ENGINEERING CERTIFICATION

No. Amendments

Drawn Design Design Chk Appd Date

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Client URBEX AND LAND DEVELOPMENT CORP. (JV)

Project ZUCCOLI PHASE 3.6

Title ACCESS AND BUILDING ENVELOPE PLAN
SHEET 1 OF 5

Datum AHD

PSM RL (MGA) COORD

FOR CONSTRUCTION

Project No. Drawing No. Rev

B00201-ABEP01 0

LEGEND

- (V) (T) (PT) (ET) (C)** PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA ALLOTMENT
- BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- ROAD CONTROL LINE
- UPRIGHT KERB AND GUTTER
- SWD STORMWATER DRAINAGE
- E ELECTRICAL RETICULATION
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- W WATER RETICULATION
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- BUILDING AREAS FOR PORCHES, VERANDAHS, DECKS AND BALCONIES
- POSSIBLE BUILDING OVER ACCESS TO GARAGE OR CARPORT
- POTENTIAL STREET TREE LOCATION
- MINIMUM VEHICLE CROSSOVER FOR SD RESIDENTIAL ALLOTMENTS AS PER COP STANDARD DRAWING 3598-001 FOR UPRIGHT KERB AND GUTTER
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BUILDING SETBACKS

HOMES MUST BE BUILT IN ACCORDANCE WITH SETBACKS DETAILED ON THIS PLAN AS WELL AS COMPLY WITH THE ZUCCOLI HOUSING DESIGN GUIDELINES.

PRIMARY STREET

GENERAL SETBACK REQUIREMENTS

TERRACES AND VILLAS - 3m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
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PORCHES, VERANDAHS, DECKS AND BALCONIES MAY ENCROACH TO A SETBACK OF 4.5m FROM THE FRONT BOUNDARY ON COURTYARD OR TRADITIONAL LOTS.

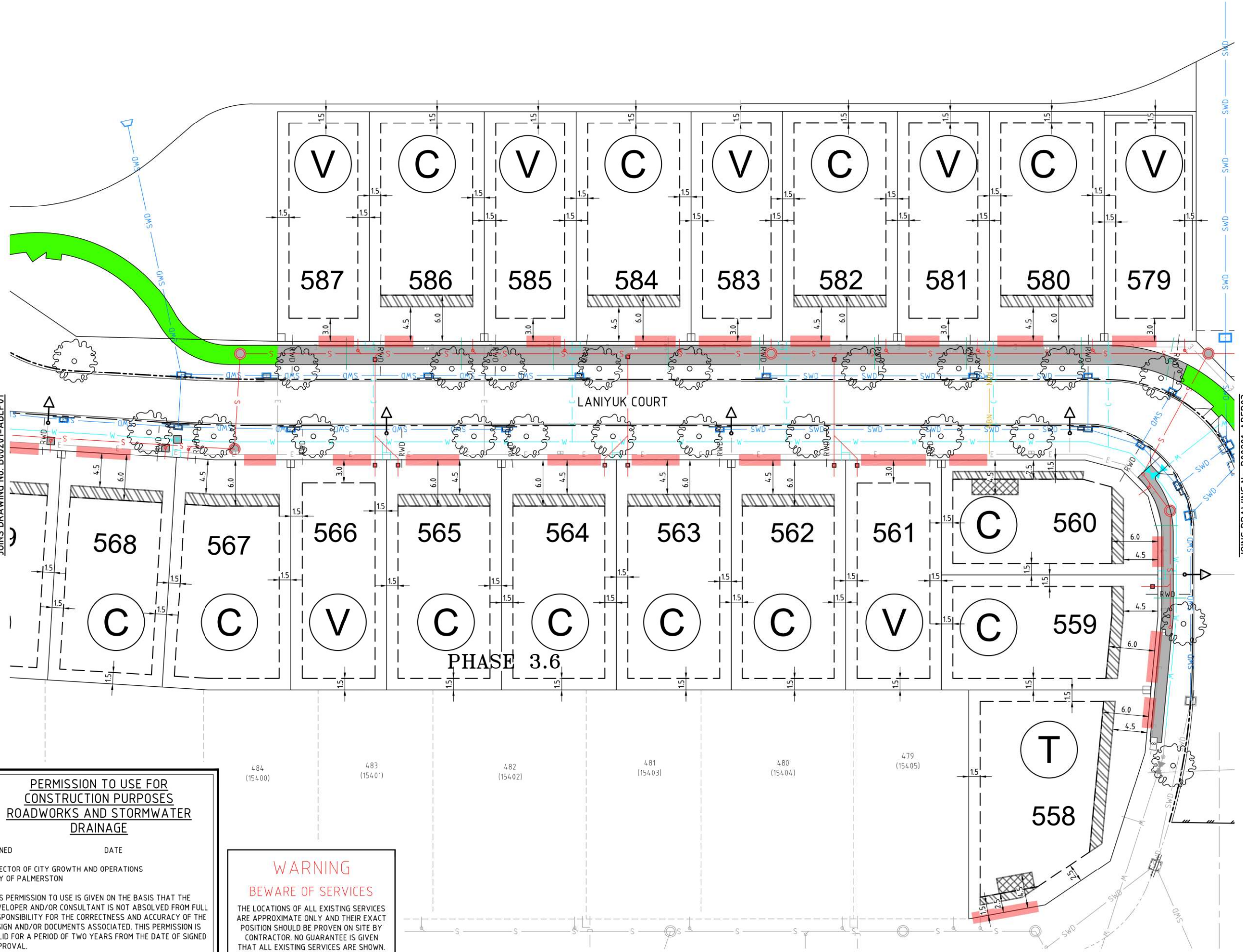
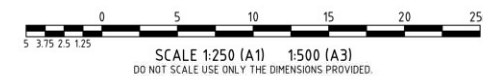
SECONDARY STREET

GENERAL SETBACK REQUIREMENTS

VILLAS - 1.5m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
COURTYARDS & TRADITIONAL - 2.5m TO MAIN BUILDING LINE, 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
PORCHES, VERANDAHS, DECKS AND BALCONIES MAY ENCROACH TO A SETBACK OF 1.5m FROM SECONDARY STREET FRONTAGE ON COURT YARD AND TRADITIONAL LOTS.

NOTE

FOOTPATH AND STREET TREE LOCATION TO BE DETERMINED



PERMISSION TO USE FOR CONSTRUCTION PURPOSES ROADWORKS AND STORMWATER DRAINAGE

SIGNED

DATE

DIRECTOR OF CITY GROWTH AND OPERATIONS
CITY OF PALMERSTON

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WARNING BEWARE OF SERVICES

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Matthew Baggs
Registered Engineer
17/8/2021 896150

Date Register

ENGINEERING CERTIFICATION



Client URBEX AND LAND DEVELOPMENT CORP. (JV)

Project ZUCCOLI PHASE 3.6

Title ACCESS AND BUILDING ENVELOPE PLAN - SHEET 2 OF 5

Datum AHD PSM RL (MGA) COORD

Project No. Drawing No. Rev

B00201-ABEP02 0

V T ~~PT~~ ~~ET~~ C

— — — — — BUILDING ENVELOPE

ALLOWABLE DRIVEWAY ACCESS

ROAD CONTROL LINE

UPRIGHT KERB AND GUTTER

STORMWATER DRAINAGE

ELECTRICAL RETICULATION

SEWERAGE RETICULATION

WATER RETICULATION

NATIONAL BROADBAND
NETWORK ALIGNMENT

STORMWATER DRAINAGE

ELECTRICAL RETICULATION

STREET LIGHT

SEWERAGE RETICULATION

WATER RETICULATION

IRRIGATION MAIN

CONCRETE FOOTPATH

CONCRETE FOOTPATH

PART OF LANDSCAPE PLANS. REFER
LANDSCAPE PACKAGE FOR DETAILING

BUILDING AREAS FOR PORCHES,

POSSIBLE BUILDING OVER ACCESS

TO GARAGE OR CARPORT

POTENTIAL STREET TREE LOCATION

RESIDENTIAL ALLOTMENTS AS PER COF

UPRIGHT KERB AND GUTTER

MINIMUM VEHICLE CROSSOVER FOR SD

STANDARD DRAWING 3598-001 FOR

.....

ALLOWABLE DRIVEWAY ACCESS LOCATIONS ARE SHOWN INDICATIVELY AND ACTUAL LOCATIONS SHALL BE CLEAR OF ALL APPURTENANCES VIZ. PILLAR BOX, SERVICE PITS, LOT WATER OFF TAKES AND SUBSOIL FLUSH POINTS.

HOMES MUST BE BUILT IN ACCORDANCE WITH SETBACKS DETAILED ON THIS PLAN AS WELL AS COMPLY WITH THE ZUCCOLI HOUSING DESIGN GUIDELINES.

TERRACES AND VILLAS - 3m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
COURTYARDS & TRADITIONAL - 6m TO MAIN BUILDING LINE, 7m TO GARAGE OR CARPORT RESPECTIVELY.
PORCHES, VERANDAHs, DECKs AND BALCONIES MAY ENCRoACH TO SETBACK OF 4.5m FROM THE FRONT BOUNDARY ON CoURTyard OR TRADITIONAL LOTS.

VILLAS - 15m TO MAIN BUILDING LINE AND 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
COURTYARDS & TRADITIONAL - 2.5m TO MAIN BUILDING LINE, 4.5m TO GARAGE OR CARPORT RESPECTIVELY.
PORCHES, VERANDAHs, DECKs AND BALCONIES MAY ENCROACH TO A SETBACK OF 15m FROM SECONDARY STREET FRONTAGE ON COURT YARD AND TRADITIONAL LOTS.

FOOTPATH AND STREET TREE LOCATION TO BE DETERMINED

0 5 10 15 20 25
5 3.75 2.5 1.25
SCALE 1:250 (A1) 1:500 (A3)
DO NOT SCALE USE ONLY THE DIMENSIONS PROVIDED.

WARNING

WARE OF SERVICES

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PERMISSION TO USE FOR
CONSTRUCTION PURPOSES
ROADWORKS AND STORMWATER
DRAINAGE

SIGNED _____ DATE _____
DIRECTOR OF CITY GROWTH AND OPERATIONS
CITY OF PALMERSTON

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<i>Matthew Beggs</i> <u>Registered Engineer</u> 17/8/2021 896150	
<i>Date</i>	<i>Register</i>
ENGINEERING CERTIFICATION	



Empower 
**ENGINEERS &
PROJECT MANAGERS** **ABN 23 010 743 692**

Client	URBEX AND LAND DEVELOPMENT CORP. (JV)
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Project **ZUCCOLI PHASE 3.6**

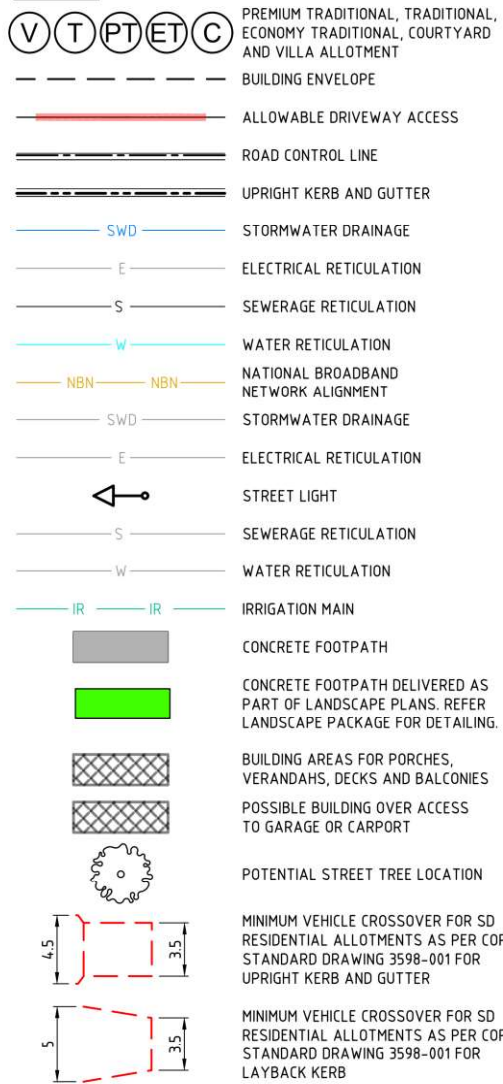
Title **ACCESS AND BUILDING ENVELOPE PLAN**
SHEET 3 OF 5

Datum	
AHD	
PSM	
RL	
(MGA) COORD	

FOR CONSTRUCTION		
<i>Project No.</i>	<i>Drawing No.</i>	<i>Rev</i>
B00201-ABEP03		0

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LEGEND



DRIVEWAY ACCESS LOCATIONS

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BUILDING SETBACKS

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PRIMARY STREET

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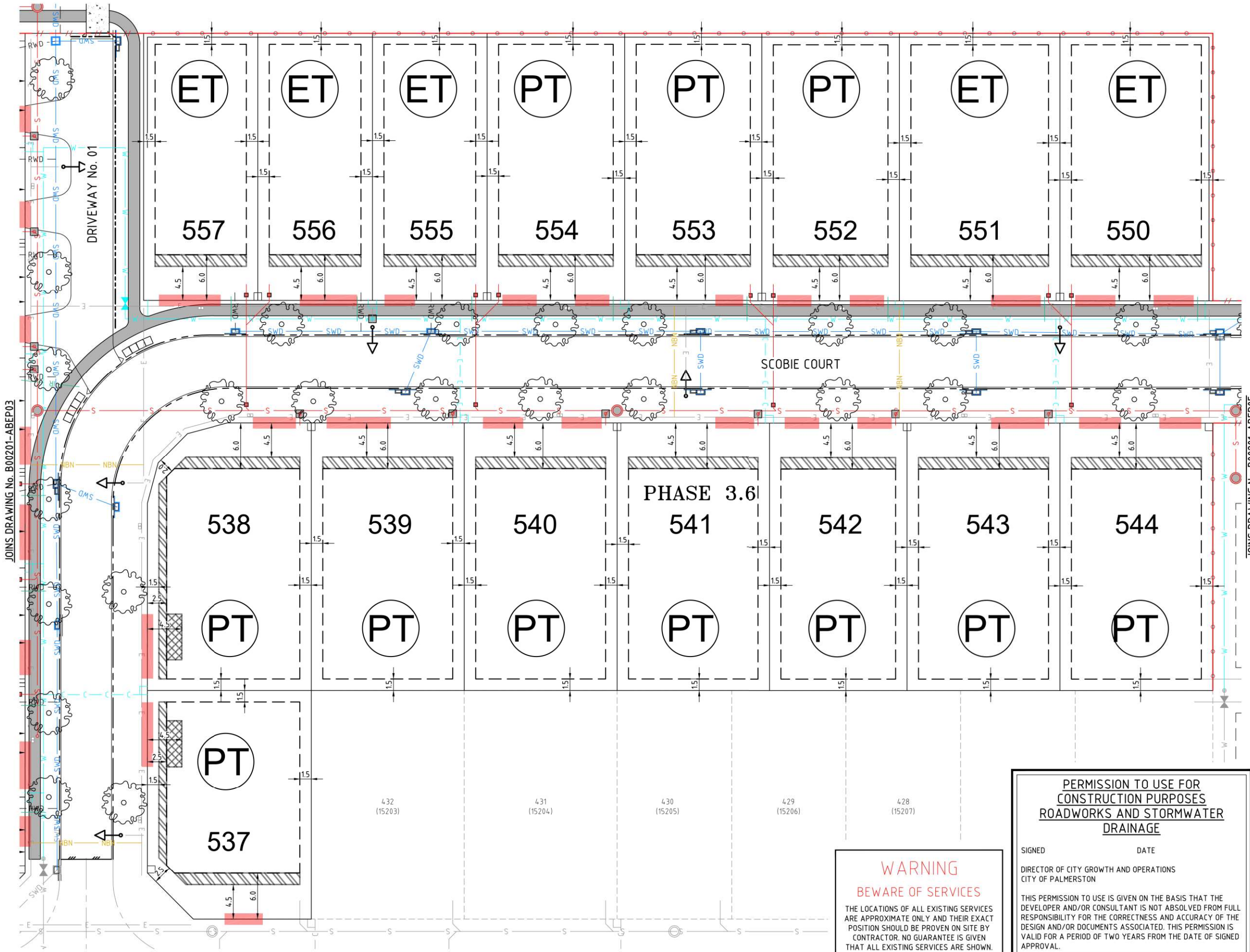
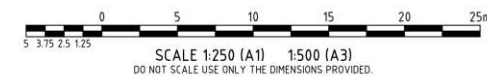
SECONDARY STREET

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PERMISSION TO USE FOR CONSTRUCTION PURPOSES ROADWORKS AND STORMWATER DRAINAGE

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Matthew Biggs
Registered Engineer
17/08/2021

896150

Date Register

ENGINEERING CERTIFICATION

Drawn Design Design Chk Appd Date



Client **URBEX AND LAND DEVELOPMENT CORP. (JV)**

Project **ZUCCOLI PHASE 3.6**

Title **ACCESS AND BUILDING ENVELOPE PLAN
SHEET 4 OF 5**

Datum **AHD**

PSM **RL**

(MGA) COORD

Project No. Drawing No. Rev

B00201-ABEP04 **0**

LEGEND

- (V) (T) (PT) (ET) (C)** PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA ALLOTMENT
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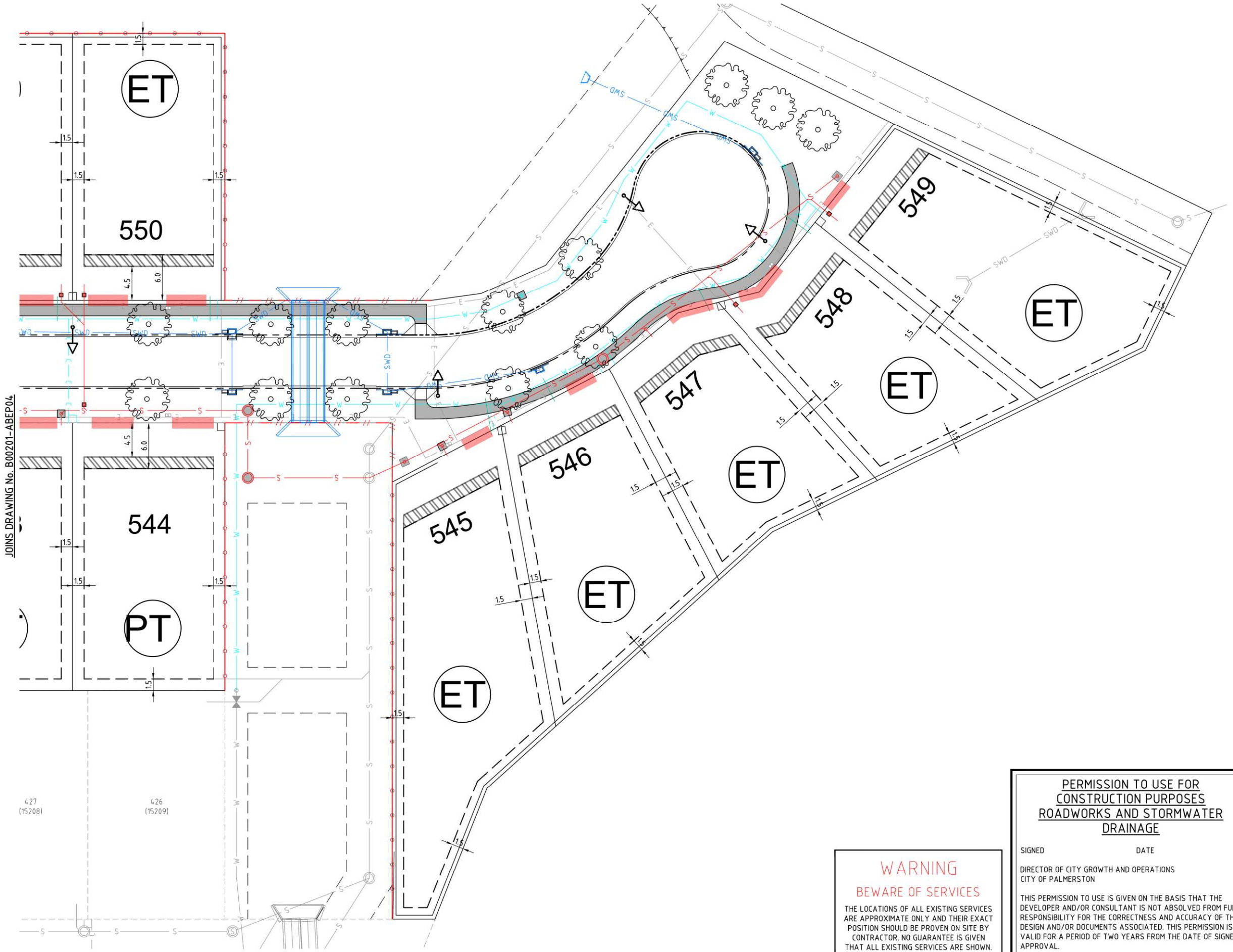
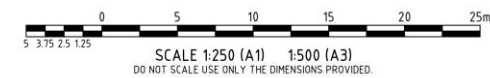
SECONDARY STREET

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PERMISSION TO USE FOR CONSTRUCTION PURPOSES ROADWORKS AND STORMWATER DRAINAGE

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Matthew Biggs Registered Engineer 17/8/2021 896150 Date Register					
ENGINEERING CERTIFICATION					
0	ISSUED FOR CONSTRUCTION	ESS	LW	WR	MKB
No.	Amendments	Drawn	Design	Design	Appd
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Client	URBEX AND LAND DEVELOPMENT CORP. (JV)		
Project	ZUCCOLI PHASE 3.6		
Title	ACCESS AND BUILDING ENVELOPE PLAN SHEET 5 OF 5		
Datum	AHD	PSM	RL
	(MGA)	COORD	
Project No.	Drawing No.	Rev	
B00201-ABEP05		0	